

CITY OF AUSTIN
Board of Adjustment/Sign Review Board
Decision Sheet

DATE: Monday, May 12, 2014

CASE NUMBER: C15-2014-0063

Jeff Jack

Michael Von Ohlen

Ricardo De Camps

Bryan King

Fred McGhee

Melissa Hawthorne

Sallie Burchett

APPLICANT: Jeff Moore

OWNER: Alejandra Fredes

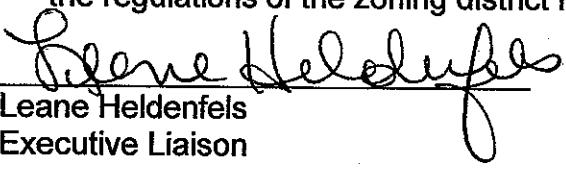
ADDRESS: 6900 GAUR DR

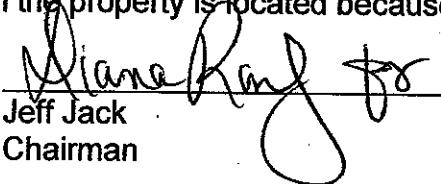
VARIANCE REQUESTED: The applicant has requested variances from Section 25-2-492 (D) of the Site Development Regulations to:
increase the maximum building coverage from 40% to 40.95% (38.57 existing);
and increase the maximum impervious coverage from 45% to 46.84% (existing);
and decrease the side yard setback from 5 feet to 1 foot 11 inches
in order to erect a patio enclosure over an existing, partially covered concrete
patio in an "I-SF-2", Interim – Family Residence zoning district.

BOARD'S DECISION: POSTPONED TO JUNE 9, 2014

FINDING:

1. The Zoning regulations applicable to the property do not allow for a reasonable use because:
2. (a) The hardship for which the variance is requested is unique to the property in that:
(b) The hardship is not general to the area in which the property is located because:
3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:


Leane Heldenfels
Executive Liaison


Jeff Jack
Chairman

CIRCLE C HOMEOWNERS ASSOCIATION, INC.
7817 LA CROSSE BLVD.
AUSTIN, TEXAS 78739
512-288-8663
info@circlecranch.info

May 8, 2014

TO: Leane Heldenfels, City of Austin Planning and Development Review

FROM: Susan Hoover, on behalf of the Architectural Control Committee, Circle C Homeowners Association, Inc.

RE: **Case Number: C15-2014-0063, 6900 Gaur Drive**

Hearing Date: May 12, 2014

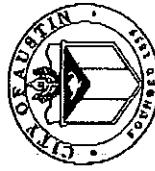
Please refer this communication to the Board of Adjustment.

1. The Circle C Homeowners Association has no position on the **impervious cover** request by this owner.
2. The Circle C Homeowners Association **objects to the side building line setback encroachment** on the following grounds:
 - a. There is no hardship that would require the owner to violate the five foot building line setback in order to construct the Patio Room.
 - b. For the CCHOA Architectural Control Committee, the owner submitted a drawing showing that the Patio Room was to be confined to adhere to the City of Austin building line setback (see attached).
 - c. The CCHOA works diligently to preserve the building line setbacks required by the City of Austin for all structures which are higher than the fence line between properties. The CCHOA has had numerous owners move their projects to adhere to the City's building line setbacks. All property owners in Circle C receive notification through our deed restrictions that the City requires the setbacks and property owners are expected to comply. In addition, neighboring property owners expect that the side building line setbacks will be adhere to.
 - d. By waiving the building line setback, the property next door could experience declining property values. This is true even if the existing owners do not have a problem with the encroachment.
 - e. The Architectural Control Committee of the Circle C Homeowners Association will not approve this project if it encroaches into the side building line setback—it will need to be a minimum of five feet from the neighboring property line.

We urge the Board of Adjustment to reject the request to build into the five foot side building line setback. Thank you for your time and attention to this matter.

ATTN: Leanne Heldenfels

C15-2014-0063



HELENA FREUD applying for a variance from the Board of Adjustment regarding Section _____ of the Land Development Code. The variance would allow me the ability to ADD A CONCRETE SUNROOM TO MY EXISTING CONCRETE PATIO.

By signing this form, I understand that I am declaring my support for the variance being requested.

Property Owner Name (Printed)	Address	Signature
SHANE WITH OWNER, MR. WICK, WHO IS IN AGREEMENT WITH THE PROJ	814 GAUR DRIVE	ALSO SPOKE WITH TENANT STEPHEN GRADY IN AGREEMENT WITH PROJ
MOTHER CORBETT	916 OLBERG	
Daniela Ortiz de Howell and ATTEMPTED TO NOTIFY 3 TIMES	821 GABION DRIVE, DANIELA	RESIDENT UNKNOWN
Rachel Barnes ATTEMPTED TO NOTIFY 3 TIMES	16005 ANGELARD CO RACHEL Barnes	RESIDENT UNKNOWN
Scott & Kris Johnson	6904 GAUR DRIVE KRIS Johnson	

Heldenfels, Leane

From: Susan R Hoover *[REDACTED]*
Sent: Monday, May 12, 2014 9:21 AM
To: Heldenfels, Leane
Subject: Re: Case Number: C15-2014-0063, 6900 Gaur Drive

Hi Leane:

I just wanted to let you know that I spoke with Jeff Moore of Champion Windows regarding the 6900 Gaur Drive project. He told me that they were not planning to encroach into the side building setback with the patio room.

That was our objection; we do not have an objection to the impervious cover situation. They seem to have a patio slab poured that does encroach but he told me that they were only using 1/2 of the slab for the upright portion of the project and that part did not encroach. So, if the addition does not encroach, we are fine with the project.

Thanks again,
Susan Hoover
on behalf of the Circle C Homeowners Association

--
Susan R Hoover
shoover@fastmail.fm

On Thu, May 8, 2014, at 01:23 PM, Heldenfels, Leane wrote:

> Hi Susan - I have received it and will get a copy to the Board in
> their meeting day backup packet.
> Thanks for sending it to us -
> Leane Heldenfels
> Board of Adjustment Liaison
> City of Austin
>
> -----Original Message-----
> From: Susan R Hoover [REDACTED]
> Sent: Thursday, May 08, 2014 12:08 PM
> To: Heldenfels, Leane
> Cc: Karen Hibpshman; [REDACTED]
> Subject: Case Number: C15-2014-0063, 6900 Gaur Drive
>
> Hi Leane:
>
> The Circle C Homeowners Association is objecting to the request to
> violate the five foot building line setback for the owner's project at
> 6900 Gaur Drive which is up for review by the Board of Adjustment on
> May 12, 2014.
>
> We have attached a letter to the Board of Adjustment and additional
> material regarding the owner's request. Please confirm that you have
> received this and it will be included in the Board of Adjustment's

Heldenfels, Leane

From: Kellogg, Eben <Eben.Kellogg@austinenergy.com>
Sent: Friday, May 09, 2014 3:56 PM
To: Heldenfels, Leane; Ramirez, Diana
Subject: amendment to BOA decision

I-7

C15-2014-0063

JEFF MOORE FOR

ALEJANDRA FREDES

6900 GAUR DRIVE

OUTSIDE OF AUSTIN ENERGY'S SERVICE AREA – NO COMMENT

HI GUYS, JUST WANTED TO LET YOU KNOW I HAD PUT IN THE WRONG COMMENT FOR THIS ADDRESS, IT IS OUTSIDE OUR SERVICE BOUNDARY.

Eben Kellogg
Austin Energy
Public Involvement | Real Estate Services
2500 Montopolis Drive
Austin, TX 78741
512.322.6050

CASE # C15-2014-0063
ROW # 11122991
TAX ROLL# 0416401914

**CITY OF AUSTIN
APPLICATION TO BOARD OF ADJUSTMENT
GENERAL VARIANCE/PARKING VARIANCE**

WARNING: Filing of this appeal stops all affected construction activity.

**PLEASE: APPLICATION MUST BE TYPED WITH ALL REQUESTED
INFORMATION COMPLETED.**

STREET ADDRESS: 6900 Gour Drive, 78749

LEGAL DESCRIPTION: Subdivision - Circle C Ranch Phs A Sec 4

Lot(s) 15 Block M Outlot _____ Division _____

I/We Champion on behalf of myself/ourselves as authorized agent for
Alejandra Fredes affirm that on April 2, 2014,

hereby apply for a hearing before the Board of Adjustment for consideration to:

(check appropriate items below)

ERECT ATTACH COMPLETE REMODEL MAINTAIN

12x13 Covered Patio Room on existing rear patio foundation.

in a SF-2 district.
(zoning district)

NOTE: The Board must determine the existence of, sufficiency of and weight of evidence supporting the findings described below. Therefore, you must complete each of the applicable Findings Statements as part of your application. Failure to do so may result in your application being rejected as incomplete. Please attach any additional support documents.

VARIANCE FINDINGS: I contend that my entitlement to the requested variance is based on the following findings (see page 5 of application for explanation of findings):

REASONABLE USE:

1. The zoning regulations applicable to the property do not allow for a reasonable use because:

Impervious coverage and building coverage calculations exceed the city of Austin's requirements.

HARDSHIP:

2. (a) The hardship for which the variance is requested is unique to the property in that:

The home was built outside the City of Austin's building and impervious coverage requirements

when home was built.

- (b) The hardship is not general to the area in which the property is located because:

Home was built prior to the city of Austin annexing the portion of the county.

AREA CHARACTER:

3. The variance will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The room will be built on existing rear patio foundation.

PARKING: (Additional criteria for parking variances only.)

Request for a parking variance requires the Board to make additional findings. The Board may grant a variance to a regulation prescribed Section 479 of Chapter 25-6 with respect to the number of off-street parking spaces or loading facilities required if it makes findings of fact that the following additional circumstances also apply:

1. Neither present nor anticipated future traffic volumes generated by the use of the site or the uses of sites in the vicinity reasonable require strict or literal interpretation and enforcement of the specific regulation because:

N/A

2. The granting of this variance will not result in the parking or loading of vehicles on public streets in such a manner as to interfere with the free flow of traffic of the streets because:

It is on the rear of the property.

3. The granting of this variance will not create a safety hazard or any other condition inconsistent with the objectives of this Ordinance because:

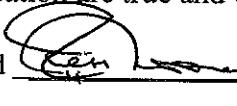
Simple addition built to code.

4. The variance will run with the use or uses to which it pertains and shall not run with the site because:

N/A

NOTE: The Board cannot grant a variance that would provide the applicant with a special privilege not enjoyed by others similarly situated or potentially similarly situated.

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

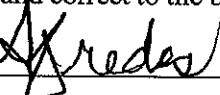
Signed  Mail Address 9104 Cameron Rd. 100

City, State & Zip Austin, TX 78754

Printed Jeff Moore Phone 512-345-1953 Date 4/2/14

512-970-4996 Cell

OWNERS CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Signed  Mail Address 6900 Gour DR

City, State & Zip Austin, TX 78749

Printed Alejandra Fredes Phone 512-660-5159 Date 4/2/14



N SUBJECT TRACT

PENDING CASE

ZONING BOUNDARY

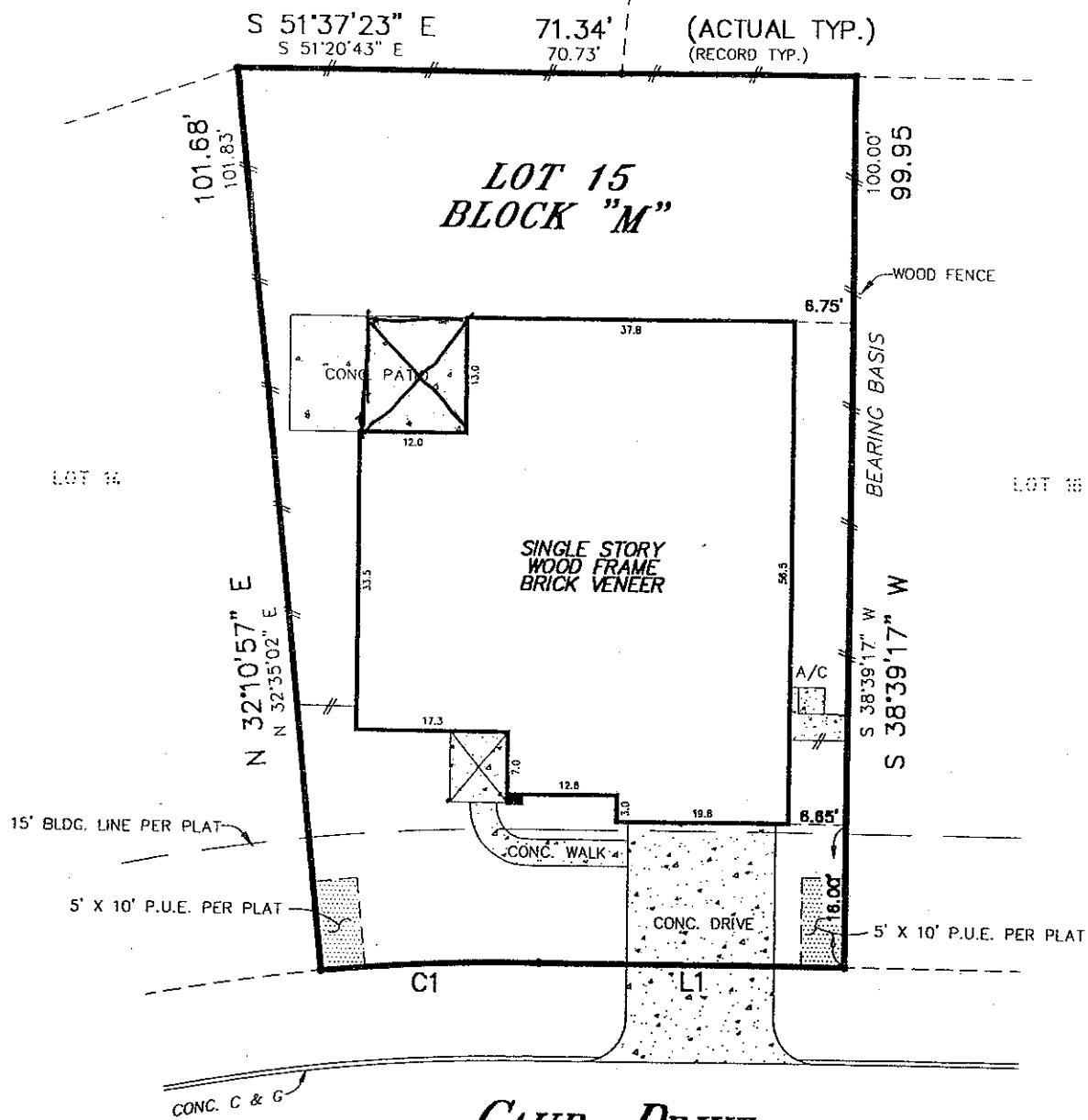
CASE#: C15-2014-0063
Address: 6900 GAUR DRIVE

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

1" = 200'

This product has been produced by CTM for the sole purpose of geographic reference. No warranty is made by the City of Austin regarding specific accuracy or completeness.





NOT AE POWER

AE APPROVED

MAR 17 2014

RLS 76-15

LINE NO.		BEARING & DISTANCE	
L1	ACTUAL	N 51°31'01" W	36.00'
	RECORD	N 51°20'43" W	35.17'
C1	ACTUAL	N 54°30'36" W	C=23.91'
	RECORD	N 54°22'50" W	C=23.83'

PROPERTY SUBJECT TO RESTRICTIVE COVENANTS RECORDED IN VOL. 94, PG. 93, PLAT RECORDS, VOL. 10585, PG. 110, VOL. 10627, PG. 771, VOL. 10729, PG. 1153, VOL. 10961, PG. 851, VOL. 11003, PG. 1060, VOL. 11134, PG. 1045, VOL. 11924, PG. 139, VOL. 12244, PG. 1855, VOL. 12265, PG. 471, VOL. 12403, PG. 495, VOL. 12515, PG. 236 AND VOL. 12515, PG. 241, REAL PROPERTY RECORDS.

CATV ESMNTS. RECORDED IN VOL. 11120, PG. 213 AND VOL. 11606, PG. 196, REAL PROPERTY RECORDS, ARE RESTRICTED TO WITHIN THE R.O.W.S & P.U.E.S SHOWN HEREON.

I SF-2
Survey No. 981340

PLAT OF SURVEY

SCALE: 1" = 20' -- 0801502

Jmoore@
com

Site Development Information

Building Coverage Information

Note: Building Coverage means the area of a lot covered by buildings or roofed areas, but excludes ground level paving, landscaping, open recreational facilities, incidental projecting eaves, balconies, and similar features. Pools, ponds, and fountains are not included in this measurement. (LDC 25-1-21)

Existing Building Coverage (sq ft): 2527

% of lot size: 38.57

Proposed Building Coverage (sq ft): 2683

% of lot size: 40.95

Impervious Cover Information

Note: Impervious cover is the total horizontal area of covered spaces, paved areas, walkways, and driveways. The term excludes pools, ponds, fountains, and areas with gravel placed over pervious surfaces that are used only for landscaping or by pedestrians. (LDC 25-1-23)

Existing Impervious Cover (sq ft): 3068

% of lot size: 46.84

Proposed Impervious Cover (sq ft): Same

% of lot size:

Setbacks

Are any existing structures on this site a non-compliant structure based on a yard setback requirement? (LDC 25-2-513)

Y N

Does any structure (or an element of a structure) extend over or beyond a required yard? (LDC 25-2-513)

Y N

Is front yard setback averaging being utilized on this property? (LDC 25-2, Subchapter F, Sec. 2.3)

Y N

Height Information (LDC 25-1-21 or 25-2 Subchapter F, Section 3.4)

Parking (LDC 25-6 Appendix A & 25-6-478)

Building Height: 9 ft Number of Floors: 1

of spaces required: 0 # of spaces provided: 0

Right-of-Way Information

Is a sidewalk required for the proposed construction? (LDC-6-353)

Y N

*Sidewalks are to be installed on any new construction of a single family, two-family or duplex residential structure and any addition to an existing building that increases the building's gross floor area by 50 % or more.

Will a Type I driveway approach be installed, relocated, removed or repaired as part of this project?

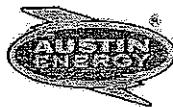
Y N

Width of approach (measured at property line): 0 ft Distance from intersection (for corner lots only): 0 ft

Are storm sewer inlets located along the property or within ten (10) feet of the boundaries of the property? Y N

Area Description		Building and Site Area		
		Existing Sq Ft	New/Added Sq Ft	Total Sq Ft
Note: Provide a separate calculation for each distinct area. Attach additional sheets as necessary. Measurements are to the outside surface of the exterior wall.				
1 st floor conditioned area		<u>2049</u>		<u>2049</u>
2 nd floor conditioned area				
3 rd floor conditioned area				
Basement				
Covered Parking (garage or carport)				
Covered Patio, Deck or Porch	/	<u>429</u>	<u>156</u>	<u>479</u>
Balcony		<u>49</u>		<u>205</u>
Other				
Total Building Coverage		<u>256</u>	<u>30</u>	<u>286</u>
Driveway				
Sidewalks				
Uncovered Patio	/	<u>208</u>	<u>-156</u>	<u>72</u>
Uncovered Wood Deck (counts at 50%)				
AC pads				
Other (Pool Coping, Retaining Walls)		<u>27</u>		<u>27</u>
Pool		<u>2068</u>		<u>2068</u>
Spa				

One Stop Shop
505 Barton Springs Rd
(512) 974-2632 - phone
(512) 974-9112 - phone
(512) 974-9109 - fax
(512) 974-9779 - fax



Austin Energy
Building Service Planning Application (BSPA)

This form to be used for review of Building Permit only

Responsible Person for Service Request

Thomas Kile
Email austin@getchampion.com Fax 512-345-1954 Phone 512-345-1953

Residential Commercial New Construction Remodeling

Project Address 6900 Gaur Drive OR

Legal Description Circle C Ranch Pts A Sec 4 Lot 15 Block M

Who is your electrical provider? AE Other PEC

Overhead Service Underground Service Single-phase (1Ø) Three-phase (3Ø)

Location of meter _____

Number of existing meters on gutter _____ (show all existing meters on riser diagram)

Expired permit # _____

Comments Addition of Sunroom

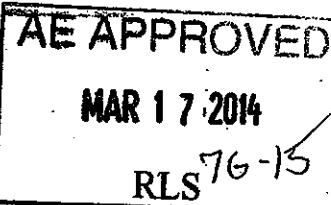
NOT AE POWER

ESPA Completed by (Signature & Print Name) Date Phone

Approved Yes No

AE Representative Date Phone

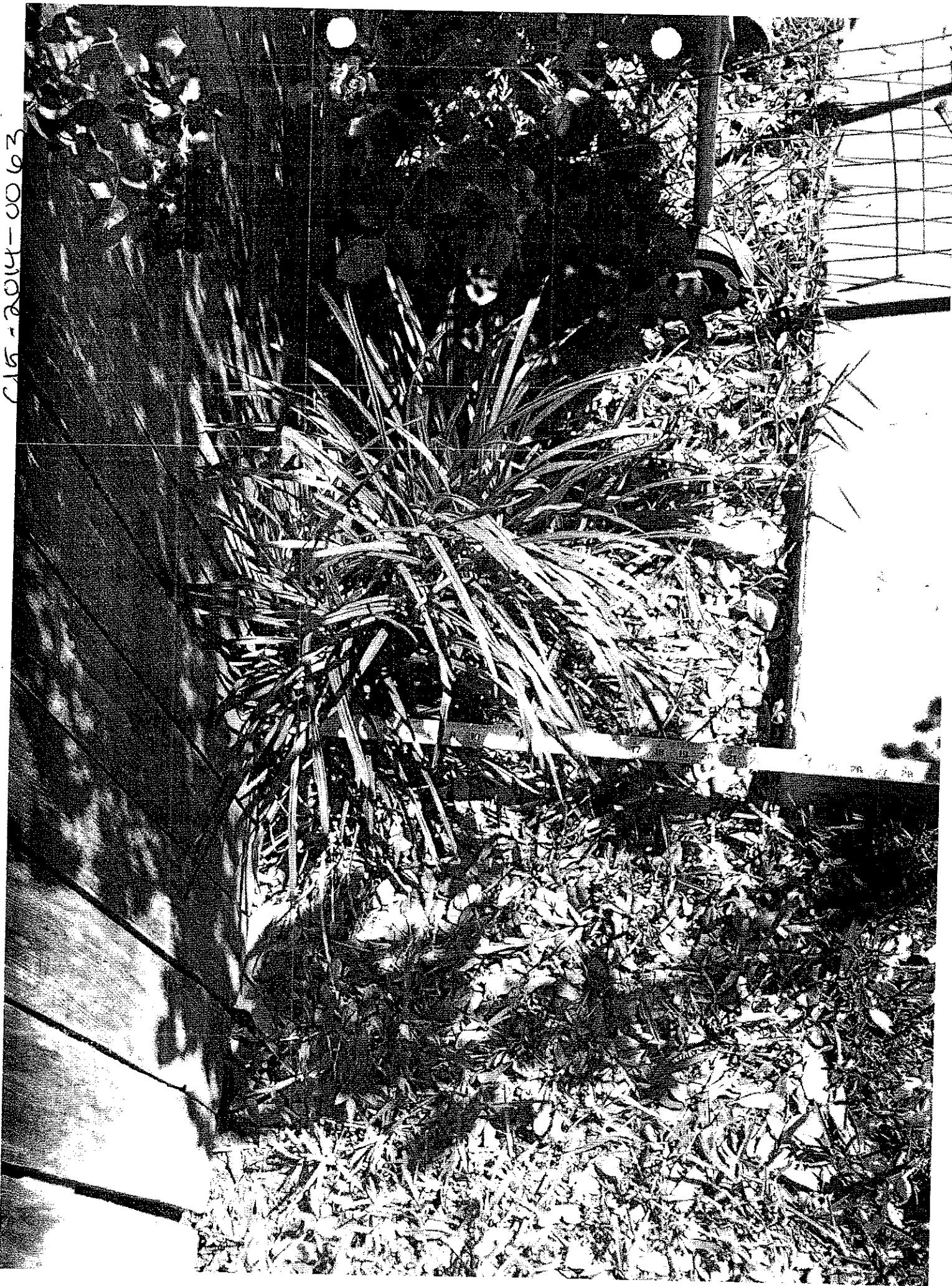
Application expires 180 days after the date of approval
(Any change to the above information requires a new SPA)



CIV-DL4-CO 05

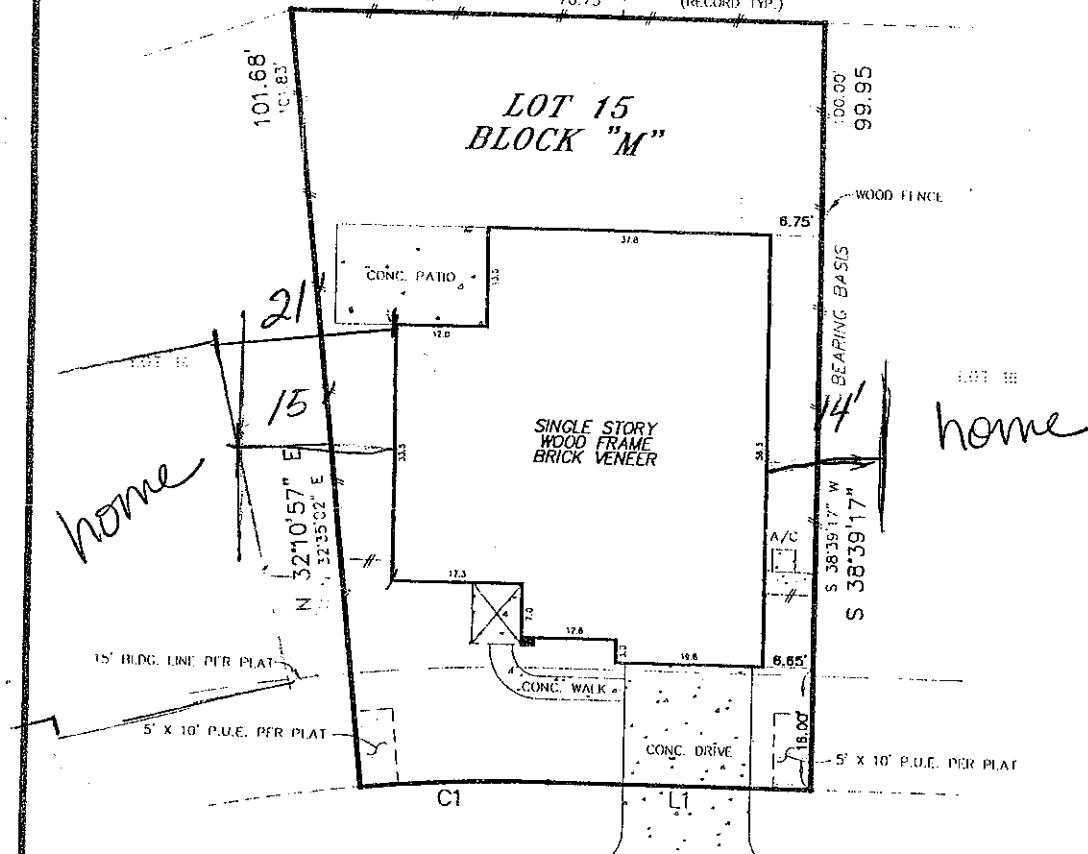


C15 - 2014 - 00103





S 51°37'23" E 71.34' (ACTUAL TYP.)
S 51°20'43" E 70.73' (RECORD TYP.)



GAUR DRIVE

(S87 R9W1)

BEARING & DISTANCE			
LINE NO.	ACTUAL	RECORD	
L1	N 51°31'01" W	36.00'	
	N 51°20'43" W	35.17'	
C1	N 54°30'36" W	C=23.91'	
	N 54°22'50" W	C=23.83'	

PROPERTY SUBJECT TO RESTRICTIVE COVENANTS RECORDED IN VOL. 94, PG. 93, PLAT RECORDS, VOL. 10585, PG. 110, VOL. 10627, PG. 771, VOL. 10729, PG. 1153, VOL. 10961, PG. 851, VOL. 11003, PG. 1060, VOL. 11134, PG. 1045, VOL. 11924, PG. 139, VOL. 12244, PG. 1855, VOL. 12265, PG. 471, VOL. 12403, PG. 495, VOL. 12515, PG. 236 AND VOL. 12515, PG. 241, REAL PROPERTY RECORDS.

CATV ESMENTS, RECORDED IN VOL. 11120, PG. 213 AND VOL. 11606, PG. 196, REAL PROPERTY RECORDS, ARE RESTRICTED TO WITHIN THE R.O.W.S & P.U.E.S SHOWN HEREON.

PLAT OF SURVEY

Survey No. 981340

SCALE: 1" = 20'

GF 9801593

Said lot is/is not in a special flood hazard area as identified by the Federal Emergency Management Agency on Community Panel No. 4845JC 0300E & PER PLAT Dated: JUN 16, 1993 (ZONL X)

All corners are iron rod found unless otherwise noted. To the lien holders and/or the owners of the premises surveyed.

LOT NO. 15 BLOCK NO. "M"

ADDITION OR SUBDIVISION CIRCLE C RANCH, PHASE 1, SECTION FOUR, VOLUME 94, PAGE 93
STREET ADDRESS 6900 GAUR DRIVE CITY AUSTIN COUNTY TRAVIS
SURVEY FOR AMERICAN WESTERN MORTGAGE CO. REFERENCE L LYNN ARMENTROUT
TO: LIONE & LEE, P.C. & CHICAGO TITLE INSURANCE COMPANY

STATE OF TEXAS COUNTY OF TRAVIS

I HEREBY CERTIFY THAT THE ABOVE SURVEY WAS MADE THIS DAY ON THE GROUND AND IS TRUE AND CORRECT, AND THAT THERE ARE NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, ENCROACHMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE EXCEPT AS SHOWN HEREON, AND SAID PROPERTY HAS ACCESS TO A DEDICATED ROADWAY, EXCEPT AS SHOWN HEREON.

SNS ENGINEERING, INC.

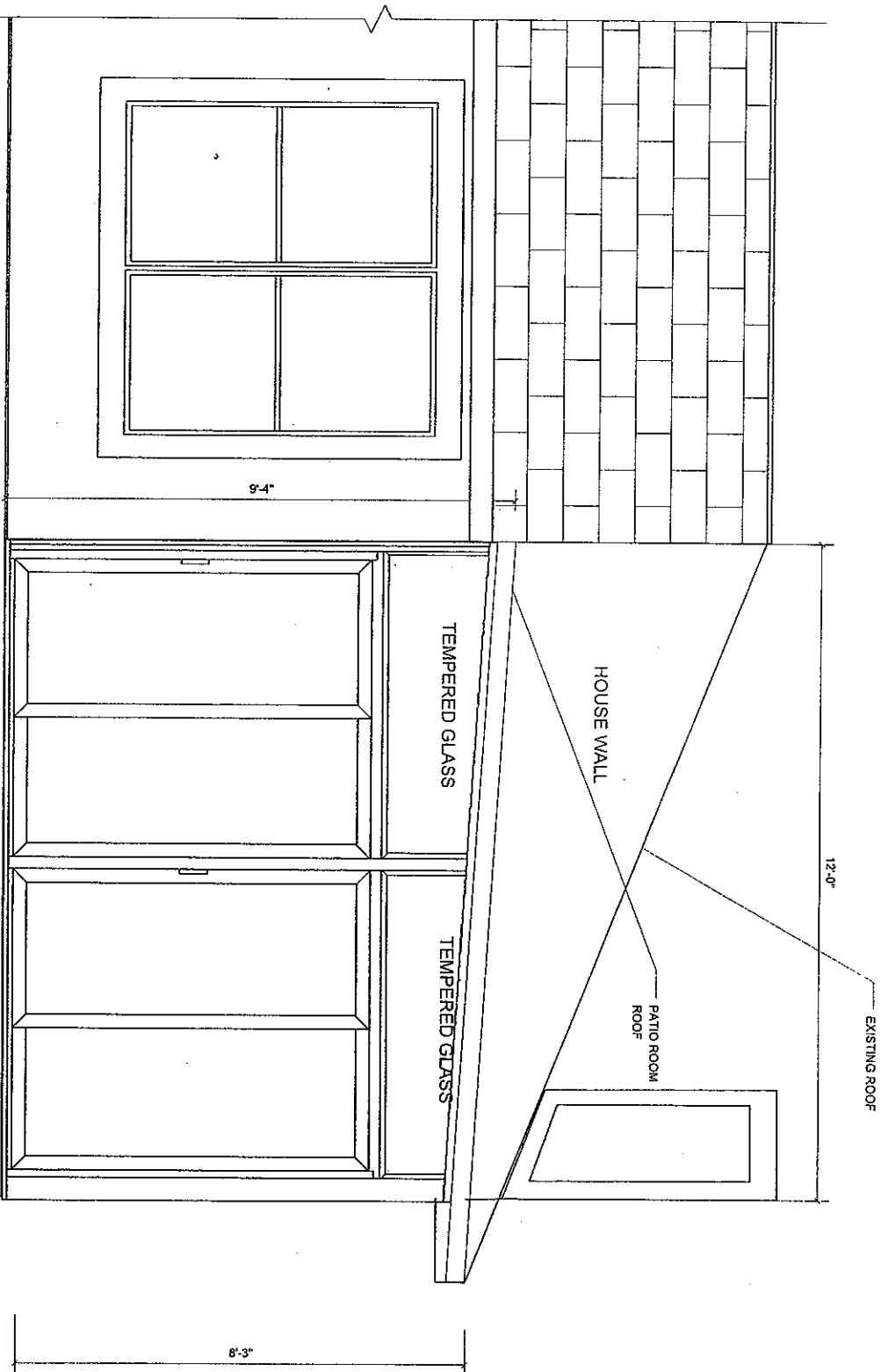
12466 Los Indios Trail, Suite 101

Austin, Texas 78729

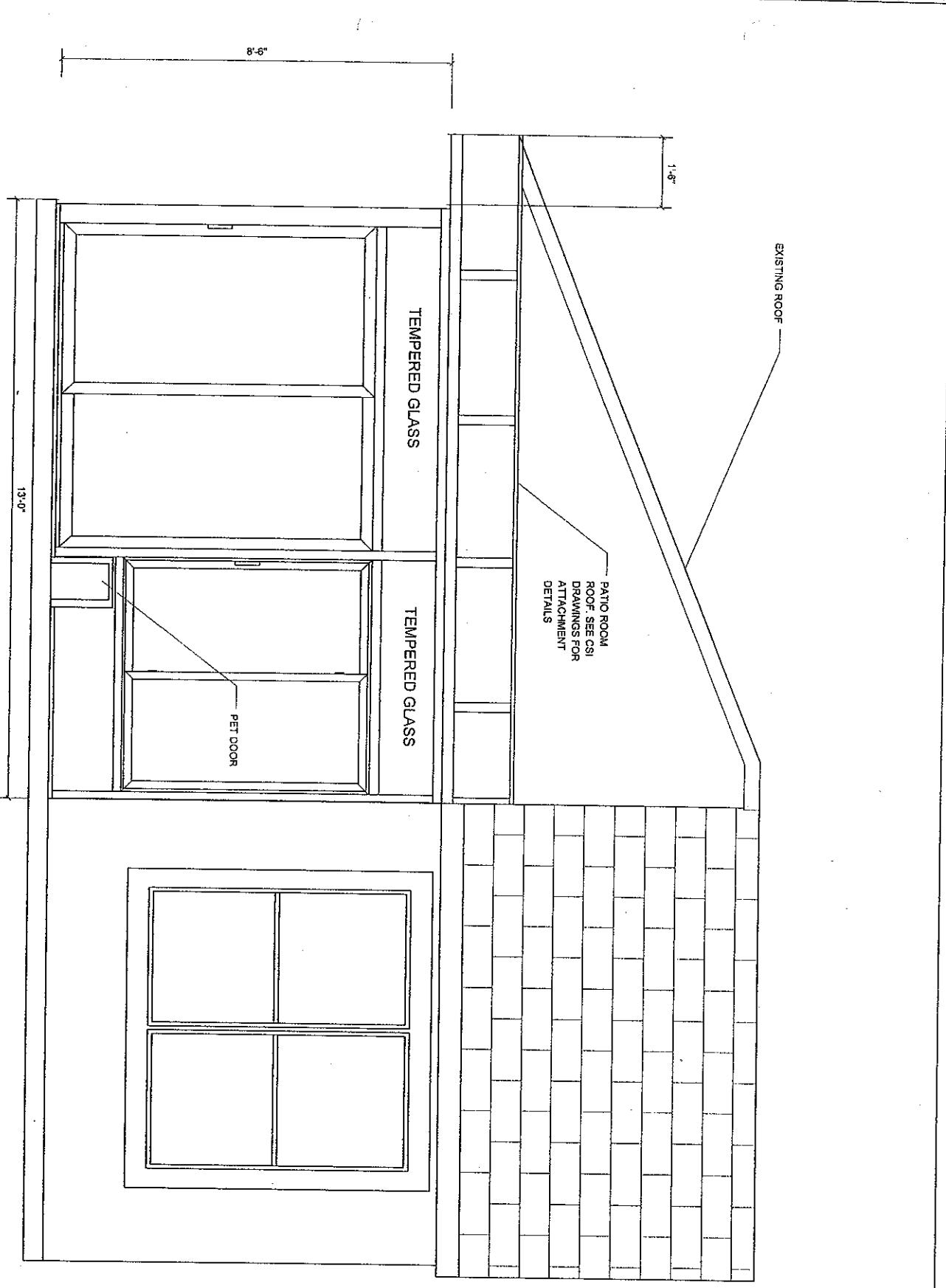
(512) 335-3944 * (512) 250-8685 (FAX)

JM 269/50

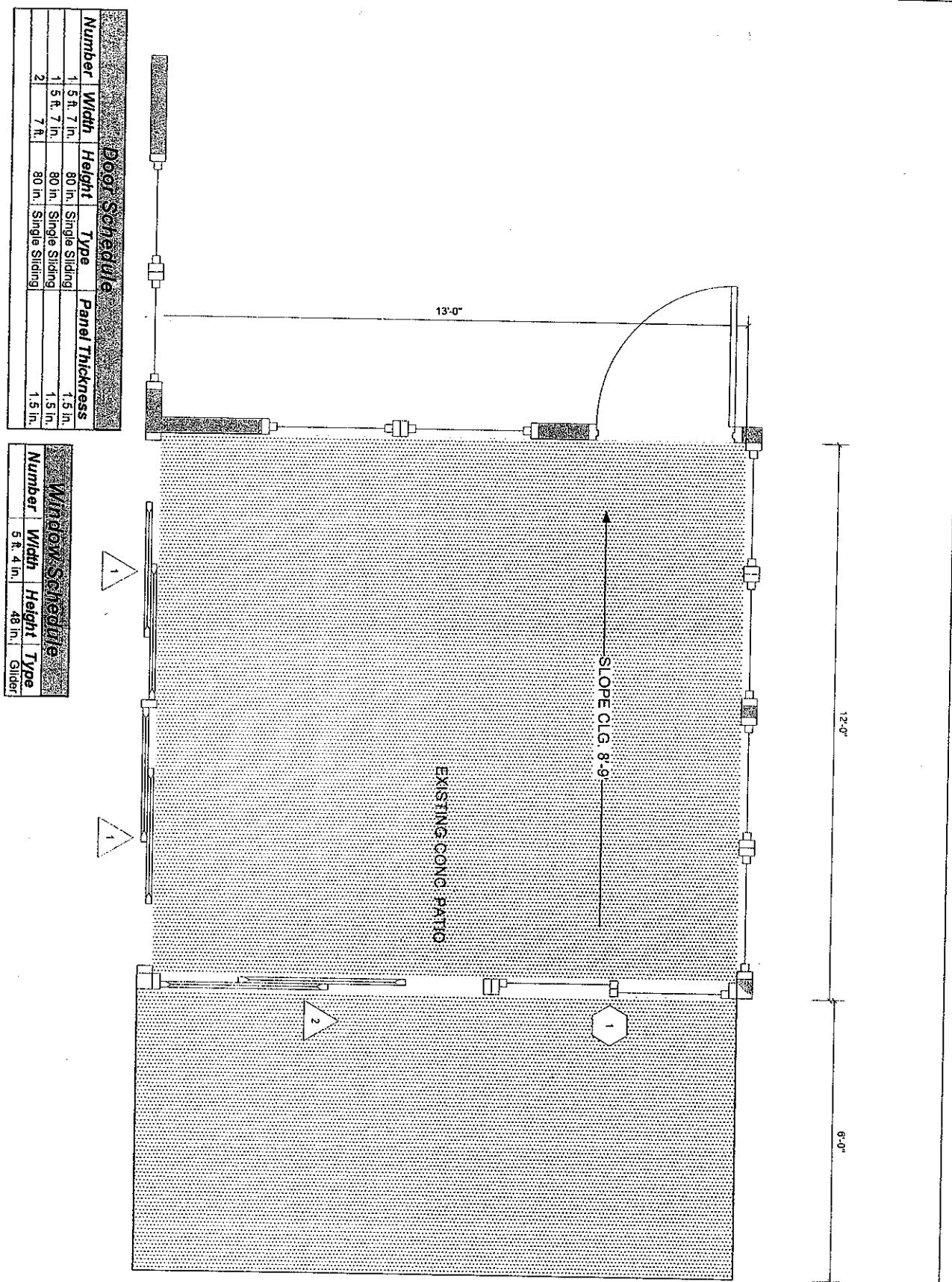
Lester Westberg
Date: 07-15-98



1	Over 75 Locations Nationally - Showroom & Service Locally CHAMPION Windows • Sun Rooms • Home Exteriors			
6900 GAUR DR.	SIZE	FSCM NO	DWG NO	REV
LEFT ELEV.	SCALE	1/2" = 1'-0"	SHEET	1 OF 7

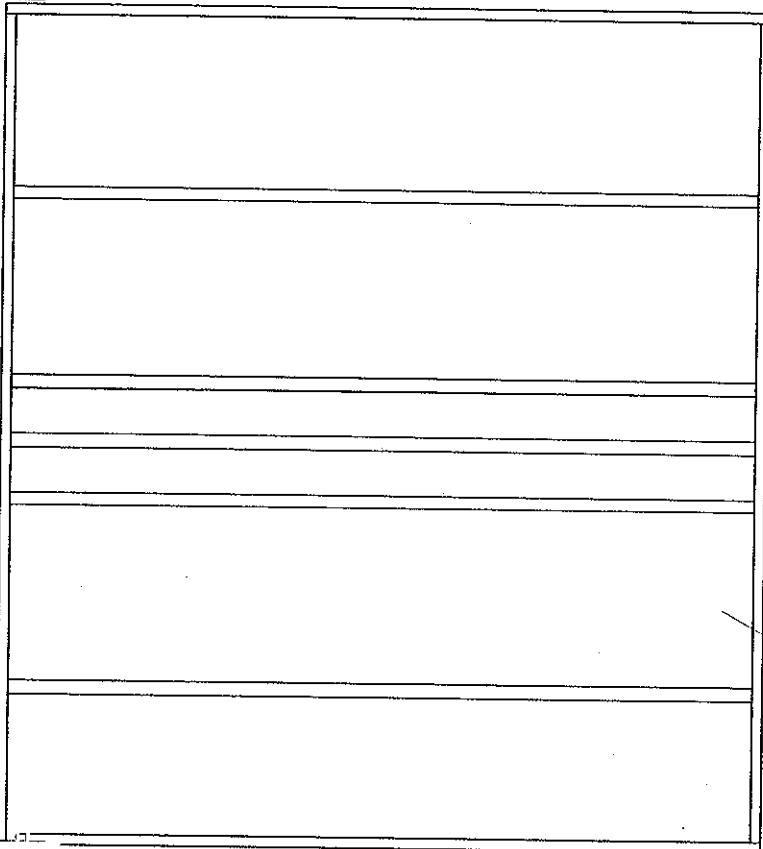


2	Over 75 Locations Nationally - Showroom & Service Locally			
CHAMPION®				
Windows • Sun Rooms • Home Exteriors				
6900 GAUR DR.		SIZE	FSCHM NO.	DWG NO.
FRONT ELEV.		SCALE	1/2" = 1'-0"	REV.
			SHEET	2 OF 7



3	Over 75 Locations Nationally - Showroom & Service Locally			
CHAMPION®				
Windows • Sun Rooms • Home Exteriors				
6900 GAUR DRIVE		SIZE	FSCM NO	DWG NO
FLOOR PLAN		SCALE	1/2" = 1'-0"	REV
		SHEET	4 OF 7	

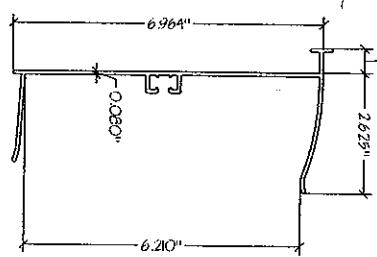
12'-6"



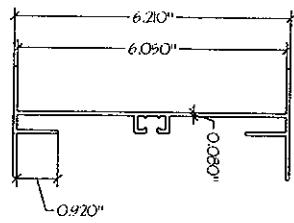
3X4" INSULATED ROOF
PANELS. SEE CES
DRAWINGS FOR
ATTACHMENT DETAILS

4		Over 75 Locations Nationally - Showroom & Service Locally			
		CHAMPION Windows • Sun Rooms • Home Exteriors			
FREDES		SIZE	FSCM NO	DWG NO	REV
ROOF		SCALE	1/2" = 1'-0"	SHEET	5 OF 7

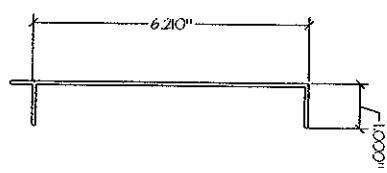
(13) 6" HANGER BASE



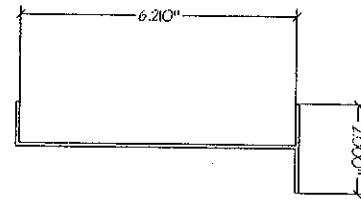
(14) 6" I-BEAM



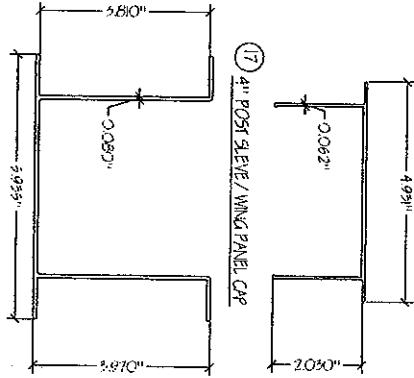
(15) 6" P-CHANNEL



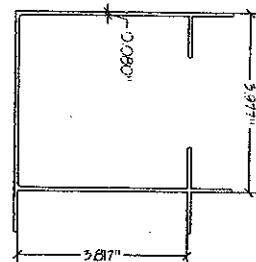
(16) 6" SUL



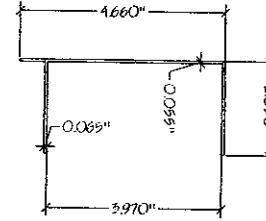
(17) 4" POST SLEEVE



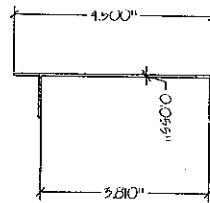
(20) CORNER POST



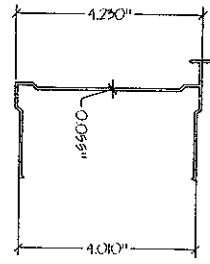
(7) 4" EXPANDER



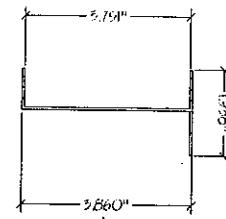
(8) 4" P-CHANNEL



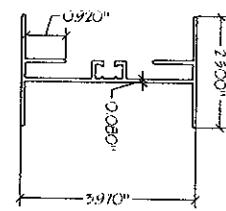
(9) 4" HANGER BASE



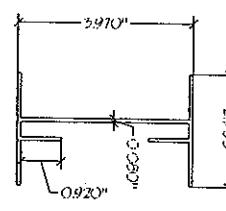
(10) 4" SUL EXTRUSION



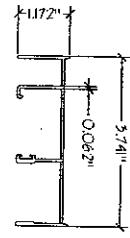
(11) 4" SECTION PEM



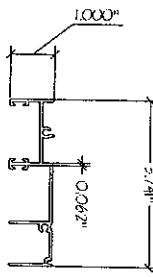
(12) 4" NON-TERM. SECTION



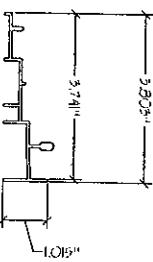
(1) WINDOW / DOOR FRAME HEAD



(2) WINDOW / DOOR FRAME JAMB



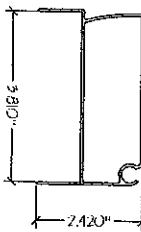
(3) WINDOW / DOOR FRAME SILL



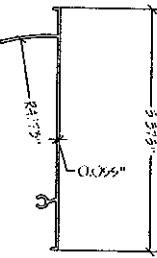
(4) RAILSON FRAME



(5) HEADER BASE



(6) HEADER ARM

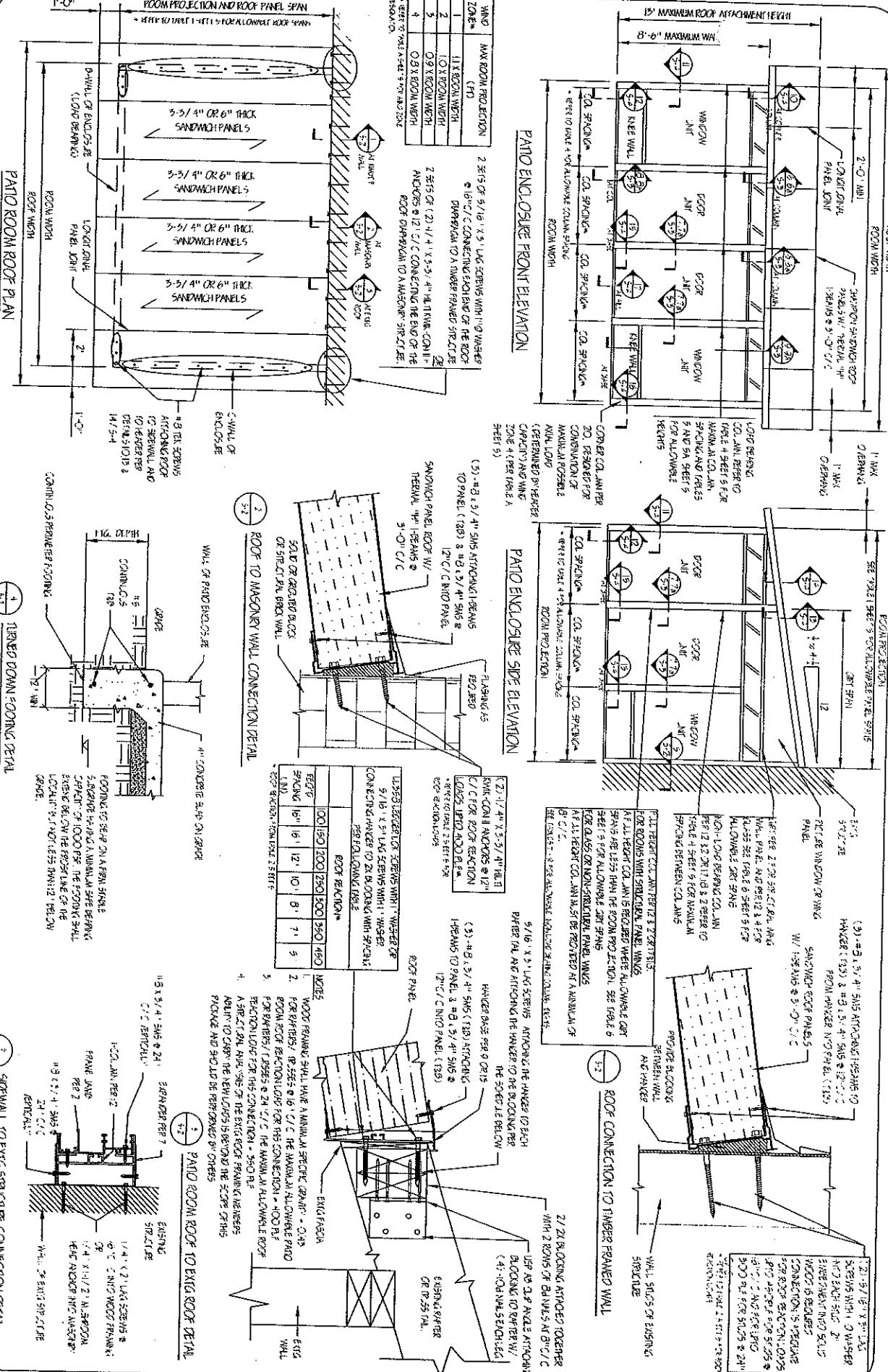


CHAMPION WINDOWS AND PATIO ROOMS
4" Wall System with Studio Style Roof

SECTION DETAILS

SHEET: 1 OF 5
DATE: 12/5/2011
SCALE: NTS
Drawn by: MAG
REV. DATE:

CES
CHAMPION ENCLOSURE SUPPLIERS
12111 CHAMPION WAY, CINCINNATI, OH 45241



CHAMPION WINDOWS AND PATIO ROOM
4" Wall System with Studio Style Roof

ELEVATION AND SECTION DETAILS

CES
CHAMPION ENCLOSURE SUPPLIERS
12111 CHAMPION WAY, CINCINNATI, OH 45241

SHEET: 2 OF 5
REV: DATE:
SCALE: NTS
Drawn by: M.G.
Date: 12/20/2011

CES

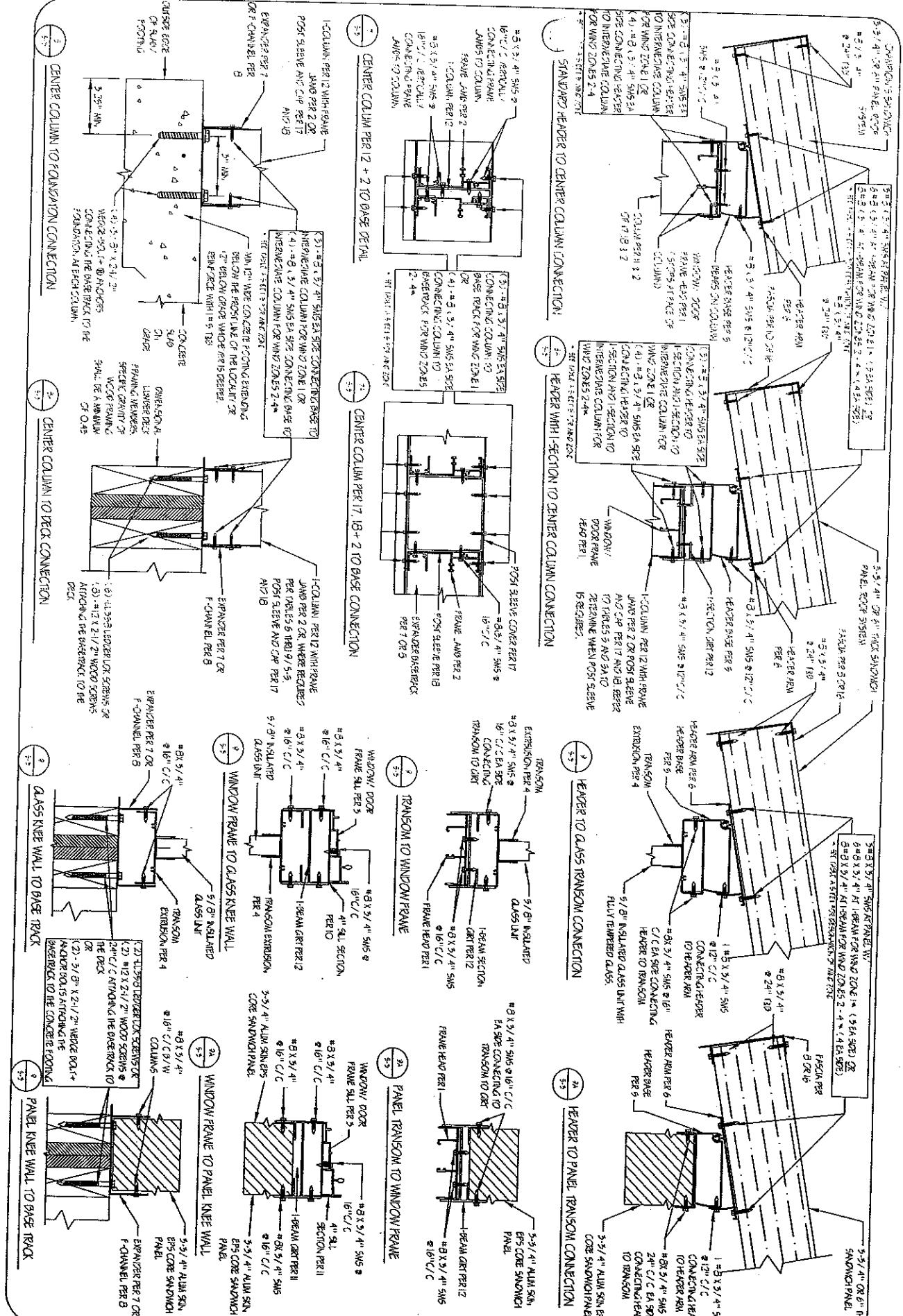
CHAMPION ENCLOSURE SUPPLIERS

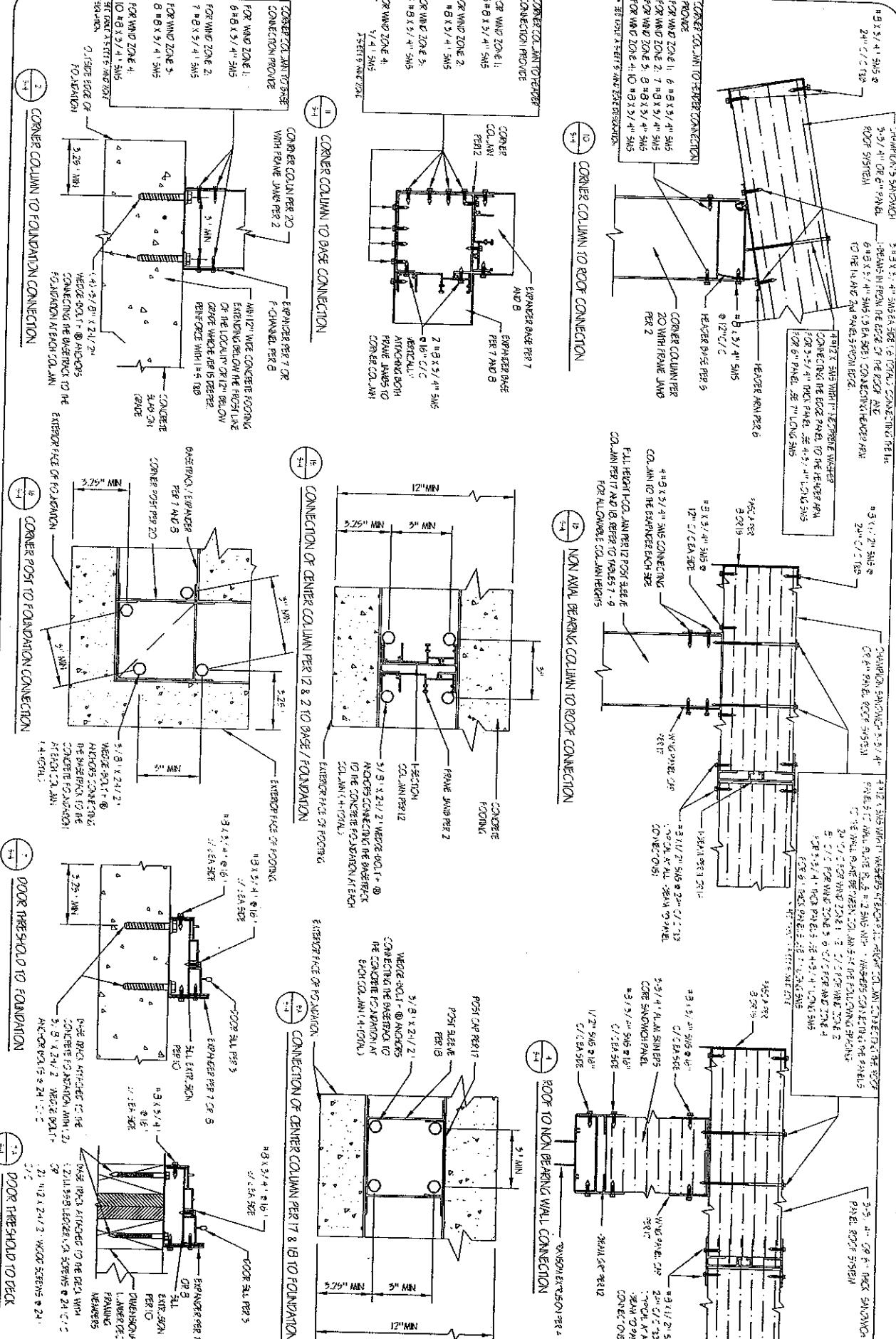
CHAMPION WINDOWS AND PATIO ROOM
4" Wall System with Studio Style Roof

SECTION DETAILS

DATE: 1/25/2011
SCALE: NTS
Drawn by: MAM
REV.: DATE:

SHEET: 3 OF 5
SECTION





DATE: 12/25/2011	SCALE: NTS
Drawn by: MAG	REV. DATE:
SECTION DETAILS	
SHEET 4 OF 5	

TABLE A: WIND ZONE DESIGNATION BASED ON DESIGN WIND SPEED AND EXPOSURE

SITE EXPOSURE CATEGORY	Basic Wind Speed (3 Second Avg.)				
	40 MPH	100 MPH	110 MPH	120 MPH	130 MPH
EXP B	WIND ZONE 1	WIND ZONE 2	WIND ZONE 3	WIND ZONE 1	
EXP C	WIND ZONE 2	WIND ZONE 3	WIND ZONE 4	SPECIAL DESIGN	
EXP D	WIND ZONE 3	WIND ZONE 4	SPECIAL DESIGN	SPECIAL DESIGN	

EXPOSURE CATEGORIES ARE AS DEFINED IN THE IBC, DC AND ASCE-7.
 TABLE APPLIES TO STRUCTURES WITH MEAN ROOF HEIGHTS UP TO 30' IN EXPOSURE B AND UP TO 15' IN EXPOSURES C AND D. FOR ROOMS IN EXPOSURE CATEGORIES C AND D WITH MEAN ROOF HEIGHTS BETWEEN 30' AND 50', THE NEAREST WIND ZONE DESIGNATION SHALL BE SELECTED OR A SITE SPECIFIC DESIGN WILL BE UTILIZED.

TABLE 2: APPROVED ROOF LONGS (FT) ON WINDON AND DOOR HEIGHT

PANEL SPAN (FT)	ROOF LINE / SNOW LOAD (PSF)				WIND ZONE *
	20	25	30	35	
10	180	193	223	253	1
12	181	196	251	266	2
14	184	224	304	324	3
16	207	282	387	422	4
18	220	280	350	380	
20	235	293	360	380	

* SEE PAGE A-5 FOR EXPLANATION OF WIND ZONE

2. RESIDENTIAL AND COMMERCIAL SPANS

TABLE 3: ALLOWABLE SPANS FOR HEDGES ON PORCH AND WALKWAY OPENINGS

PANEL SPAN (FT)	70	100	125	150	175	200	250	300	350	400	500
STANDARD HEIGHT	96"	75"	72"	64"	60"	54"	42"	N/A	N/A	N/A	N/A
HEDGE WITH 1'-PEAK	96"	96"	96"	96"	96"	96"	72"	66"	60"	56"	48"
COLONIAL TRIMMED PANELS 2' OR 3'	96"	96"	96"	96"	96"	96"	72"	66"	60"	56"	48"
* SEE PAGE A-5 FOR EXPLANATION OF WIND ZONE											

1. THE ALLOWABLE SPANS ARE BASED ON UNIFORM SNOW/DRIVING CONDITIONS.
 2. FOR OSB ROOF PANELS WITH ASBESTOS SHINGLES, THE MAX. ROOF LONG FOR THIS CHART SHALL EQUAL ONE-THIRD OF THE ROOF LINE LONG + 5'.

TABLE 4: ALLOWABLE COLUMN SPANS BASED ON DOOR/HIGHWAY/LANE CAPACITY

WIND ZONE *	1	2	3	4
ALLOWABLE COLUMN SPACING	96"	54"	36"	24"
* SEE PAGE A-5 FOR EXPLANATION OF WIND ZONE				

2. RESIDENTIAL AND COMMERCIAL SPANS

TABLE 5: ALLOWABLE HEIGHT OF LONG BEARING COLUMN PER 12 AND 20'

COLUMN HGT	WIND ZONE *
36"	1
48"	2
60"	3
66"	4
72"	5
78"	6
84"	7
90"	8
96"	9

* SEE PAGE A-5 FOR EXPLANATION OF WIND ZONE

GENERAL NOTES AND SPECIFICATIONS

1. SITE-SPECIFIC DESIGN FOR CHAPMAN PATIO ROOMS HAS BEEN PERFORMED BY CONTRACTOR HATZ INC.
2. REQUIREMENTS OF 2003, 2006 AND 2009 EDITIONS OF THE IRCS AND THE CODES, 2010 NEW YORK STATE BUILDING CODE, 2009 NYSPC, 2010 NYDOA, 2010 TALLING CODE, 2010 TALLING CODE, 2010 OF THE ASSOCIATION'S RESIDENTIAL CODE AND 2010 ENCLOSURE REFERENCED STANDARDS, 2002 AND 2005 EDITIONS OFIRC, 2002 AND 2005 EDITIONS OF ASCE 7-0200 AND 2008 ALUMINUM DESIGN MANUAL, 2000 AND 2005 EDITIONS FOR WOOD.
3. SPECIFY ALUMINUM OR STEEL DESIGN OF THE PICO SYSTEM. IF CONCRETE, USE 15" TO 18" DECKING SPACER TIE ATTACHMENT. SEE ATTACHED DRAWING FOR DETAILS.
4. USE OF TOP HAT AND SPUDS SHOULD BE REVERSED IN OTHERS.
5. THE ALLOWABLE SPANS ARE BASED ON UNIFORM SNOW/DRIVING CONDITIONS. CONSIDERATION SHALL BE GIVEN TO SITE SPECIFIC CONDITIONS SUCH AS SLOPING, DROPPING OR UNPLANTED SNOMLLADS.
6. DISC WIND SPEEDS ARE 2-SECOND CLUFF AVERAGE ABOVE THE GROUND IN EXPOSED STRUCTURE.
7. DESIGNER OF RECORDS CONSULT WITH THE ENGINEER FOR SEISMIC DESIGN CRITERION FOR WIND-UNPENETRATED SNOW LEADS UP TO 100 MPH THAT HAVE BEEN DESIGNERED IN THE PACKAGE. A SITE-SPECIFIC DESIGN EVALUATION IS REQUIRED FOR ENCLUSES UP TO 100 MPH. UNPENETRATED SNOW LEADS IN EXCESS OF 100 MPH.
8. THE CHAMPION PATIO ENCLOSURE SHALL BE AN ASSEMBLY OF THREE TO PRO ADJUSTABLE SUPPORTS, ONE AT EACH END, AND CFC 6 OR 20 CATEGORY II. IN WIND DESIGN PERIODS RELATING TO THESE OPENINGS, SPUDS SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS OF THE CONTRACTOR'S DESIGN FOR THE CONCRETE CORE.
9. FISHING CABLES SHALL BE LIMITED TO DECORATIVE AND OUTDOOR LINING PURPOSES AND IS NOT TO BE USED AS A CORRIDOR, GARAGE OR HIGH-PIKE ROOM.

MATERIALS

1. ALL CONCRETE SPAL CONFORM TO ALL REQUIREMENTS OF ACI 318, SPECIFICATIONS OR STRUCTURAL CONCRETE FOR BUILDINGS.
2. ALL CONCRETE SPAL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000PSI 28 DAYS AND WHERE EXPOSED TO THE EXTERIOR ENVIRONMENT SHALL HAVE AN ENTRAINED AIR CONTENT OF NO MORE THAN 4.5% TO 7.0%.
3. ALL BRONZE COATED STEEL SHALL CONFORM TO ASTM A-563 AND CORNER BARS AND POSTS AS NEEDED.
4. STRUCTURAL ALUMINUM
5. ALL EXPOSURES SHALL BE AT 6063-T6 ALUMINUM PROFILE BY ENGINEER SUPPLIERS LLC.
6. ROOF PANELS SHALL BE 3/8", 1/2", 3/4" OR 6" TICK STAINLESS OR OSB ENCLOSURE PANELS MANUFACTURED BY ENCLOSURE SUPPLIERS LLC.
7. STANDARD ROOF PANELS CONSIST OF 0.024 ALUMINUM SHEETING (0.024-.024).
8. OSB ROOF PANELS CONSIST OF 0.024 ALUMINUM SHEETING AND IS OSB CONCRETE SPUDS AND A 0.024 ALUMINUM SHEETING BOTTOM SPUD. THE CODE FOR ALL PANELS SHALL BE AS PER C-1905 THE EXPOSURE TO THE ELEMENTS.
9. THE PANELS SHALL BE A MINIMUM OF THREE FEET (3') WIDE AND SHALL BE SPACED BETWEEN ALONG 6'-0" SPANS.
10. THE ALLOWABLE PANEL SPAN (18') IN THIS PACKAGE APPLIES TO BOTH THE STANDARD AND 500 ROOF BEARING COLUMN COLUMN MCOLUMN PER 17 AND 18' ADDING AT LEAST ONE WINDOW.

DESIGN TABLES AND NOTES

DESIGN TABLES AND NOTES	CES	CHAMPION WINDOWS AND PATIO ROOM 4" Wall System with Studio Style Roof
Drawn by: MJS		
REV:		
DATE:		

SHEET: 5 OF 5

12111 CHAMPION WAY, CINCINNATI, OH 45241